

LOCKWOOD

IN MONTGOMERY'S GREATEST TRADITION

DESIGN REGULATION GUIDELINES

Development Plan

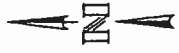
Design Regulations

Design Review Procedures

Lockwood Operating, LLC
1342 Carmichael Way
Montgomery, AL 36106
334-260-8000

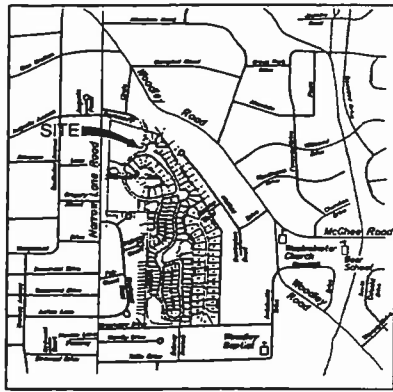
March 25, 2005

DEVELOPMENT PLAN

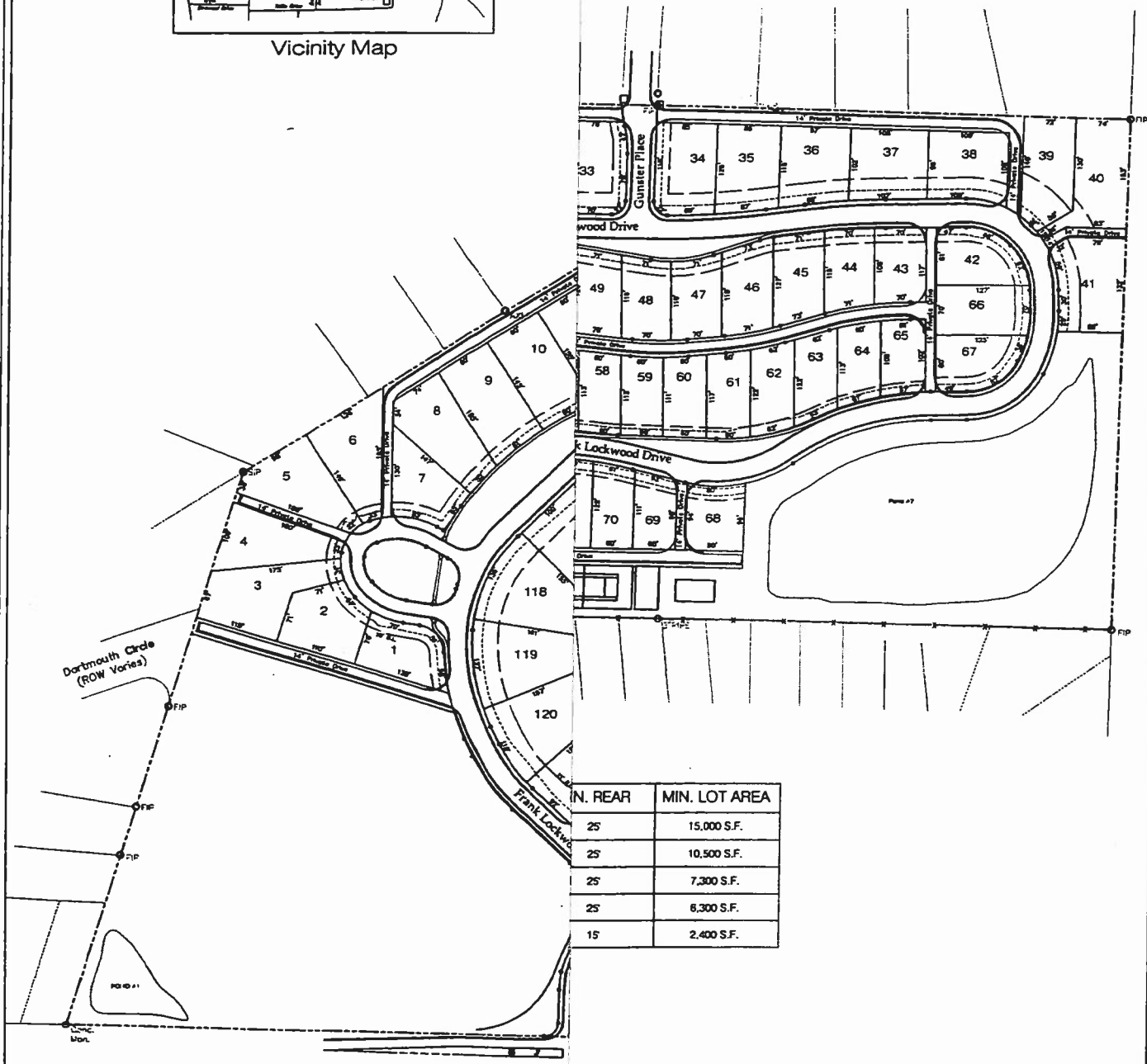


SCALE: 1"=100'

PLOTTED: March 24, 2005



Vicinity Map



N. REAR	MIN. LOT AREA
25'	15,000 S.F.
25'	10,500 S.F.
25'	7,300 S.F.
25'	6,300 S.F.
15'	2,400 S.F.

NARR

**DESIGN
REGULATIONS**

Introduction / Concept

A GATED COMMUNITY. Lockwood will be developed on the old Standard Club property, near the Montgomery Country Club and Huntingdon College (see Vicinity Map and included Site Plan). There will be a 24-hour manned entrance at Narrow Lane Road and Primrose. Lockwood will be low-density, with private roads, and will be completely surrounded by walls and fences. 121 lots of varying size will be sold for single-family residences; 75 additional lots will be reserved for townhomes. We will preserve the Standard Club's magnificent old clubhouse, designed by Frank Lockwood in 1929, as a historic landmark, and have it placed on the National Register of historical places. Thought to be one of the finest examples of Lockwood's work, it will be encircled by homes. Overall, our vision of Lockwood is that it have a pristine, park-like ambience secluded and private, and be the kind of neighborhood you feel is *home*.

The developers of Lockwood were inspired by Old Cloverdale, the oldest planned garden community in Alabama, said to have been sketched, or suggested by architect Frederick Law Olmstead (the designer of New York's Central Park, among other notable creations), while he was visiting Montgomery in the mid-1890's. Old Cloverdale is a neighborhood of mature trees, winding roads, parks, sidewalks and a variety of traditional architectural styles, including many of Frank Lockwood's noblest creations. Because of its inherent beauty and people-friendly character, the result of excellent planning, Old Cloverdale has maintained its high desirability for a hundred years – and the respect of all who live there. A more recent expression of good planning is to be found in Myrtlewood, a secluded neighborhood nestled in and around a lovely, winding road. The important principles, inherited from the late 19th and early 20th centuries, and put to work in both Old Cloverdale and Myrtlewood, are to be reapplied in Lockwood. And there will be improvements, too. All lots will be served by rear alleyways, to minimize the number of driveways opening onto streets, and also provide for parking, backyard mail delivery and trash collection. The result will be a pedestrian-oriented community where walking can be enjoyed to the fullest. A Lockwood Home Owner's Association will be responsible for all maintenance, including streets, sidewalks and landscaping.

Design regulations have been established to encourage a variety of architectural styles, to ensure that houses are designed and detailed in a manner faithful to those styles, and that the siting and massing of buildings are in harmony with neighboring structures.

Contents

- A. Architectural Styles
- B. Site Planning
- C. Elements of Acceptable Design
- D. Exterior Materials / Colors
- E. Landscaping / Irrigation

Architectural Styles

This section is intended to convey those styles that are both popular over time and have proven to be in harmony with one another in established traditional neighborhoods such as Old Cloverdale. The following listing of styles references the publication "A Field Guide to American Houses". Virginia and Lee McAlester. The list is intended as a guide. Other styles will be considered if approved by the Review Committee in advance of submittal of design documents by lot owner.

Listing of Appropriate Architectural Styles

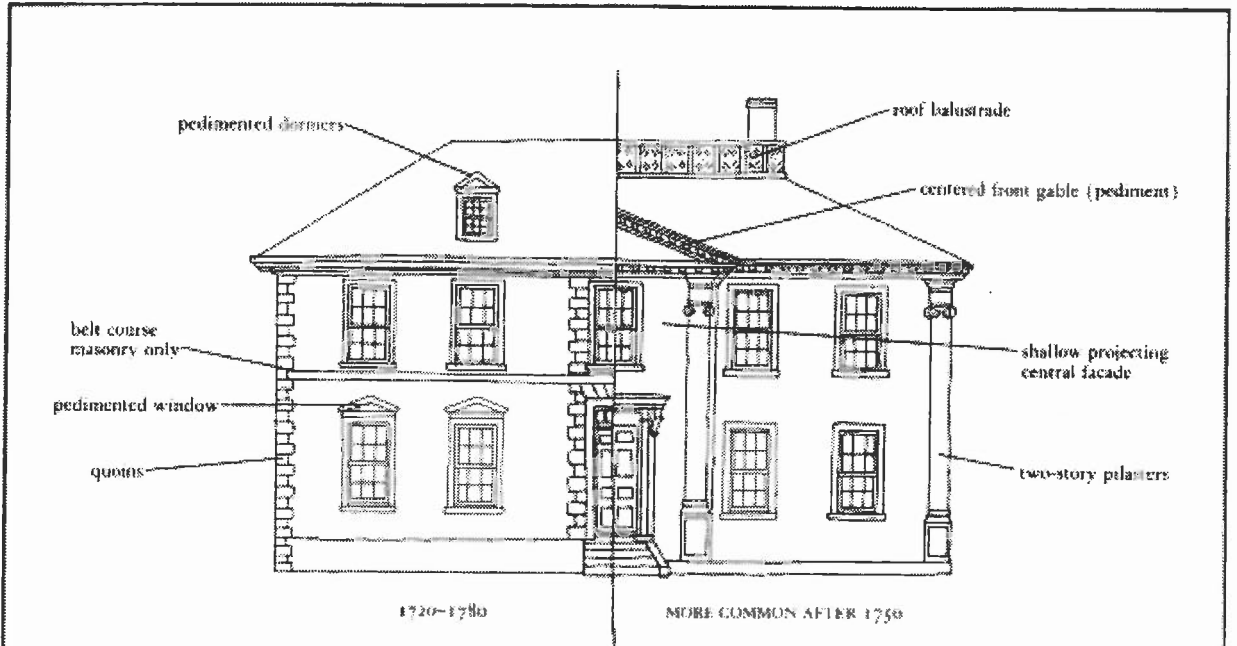
(Examples of these styles may be found in the publication “A Field Guide to American Houses”)

- Georgian
- Greek Revival
- Shingle Style
- Colonial Revival
- Tudor
- French Eclectic
- Italian Renaissance
- Spanish Eclectic
- International Modern

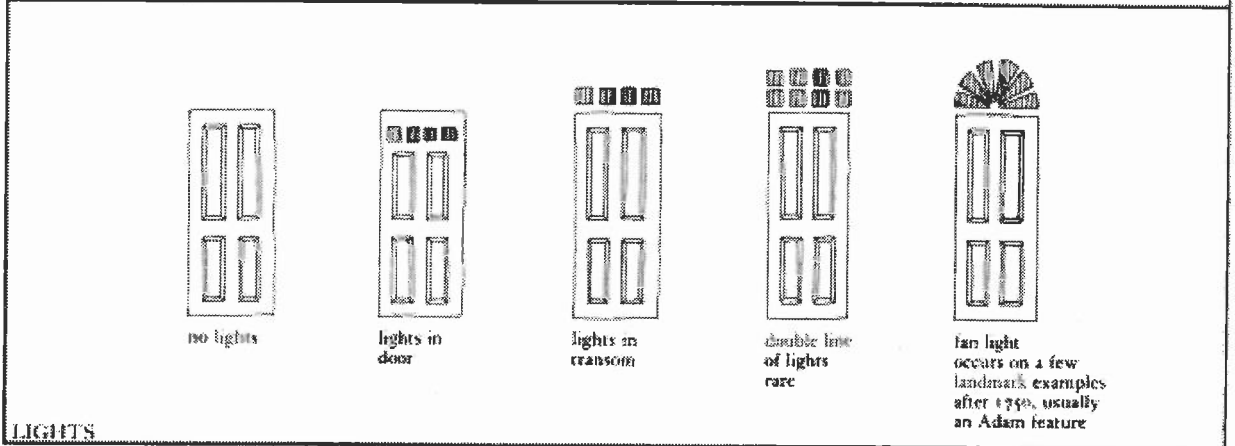
Other styles to be considered on an individual basis.

The following pages show examples of the styles listed.

Georgian



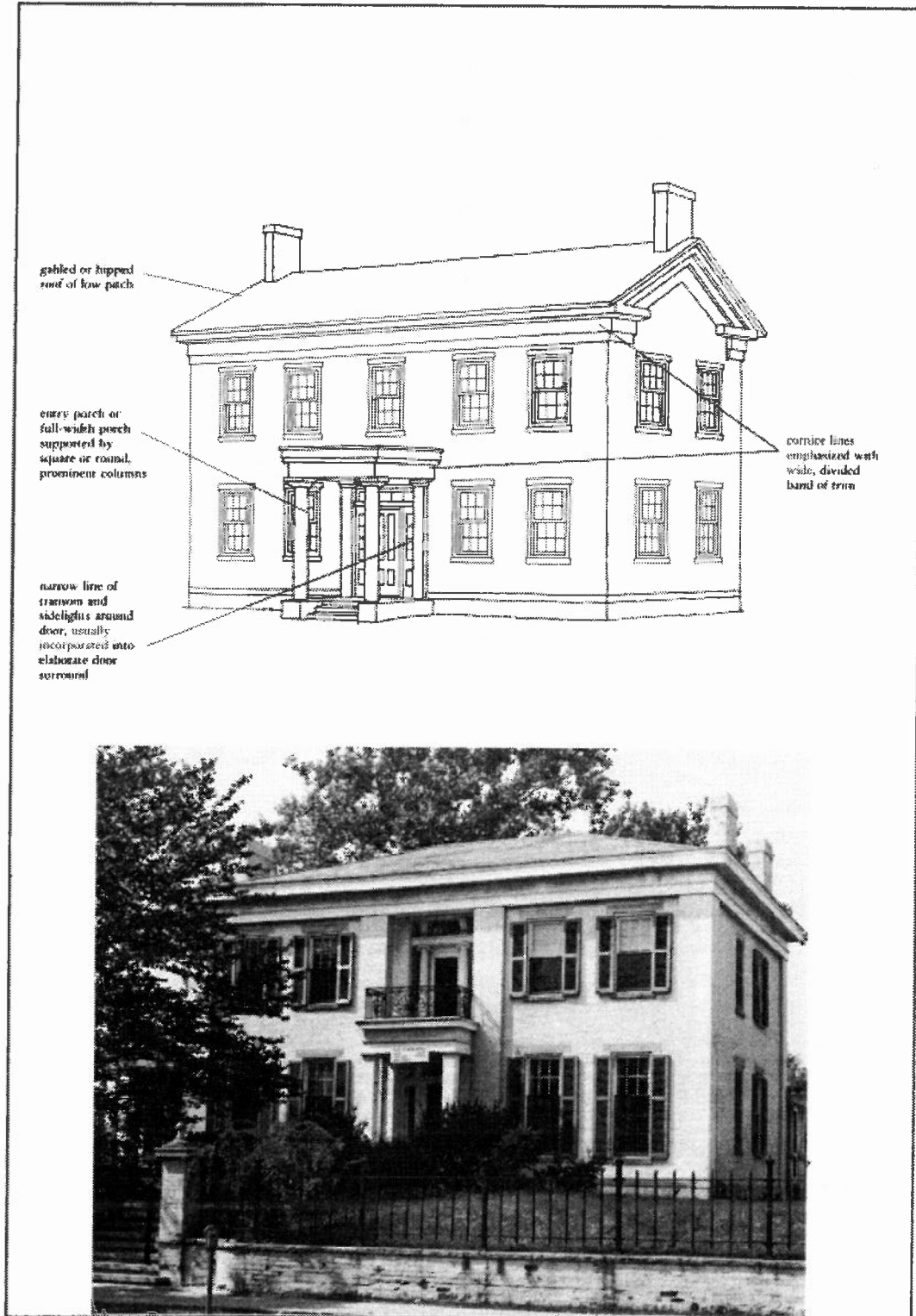
TYPICAL ELABORATIONS



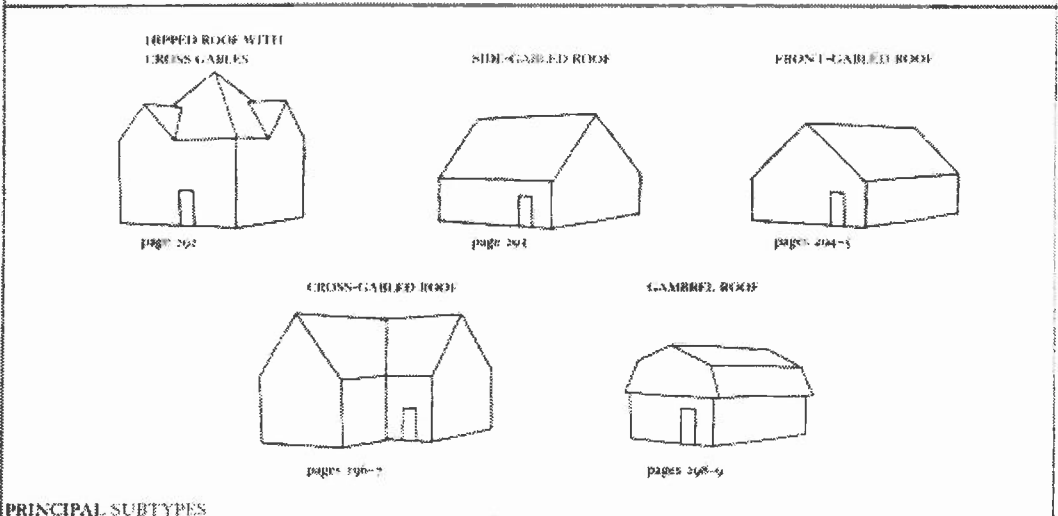
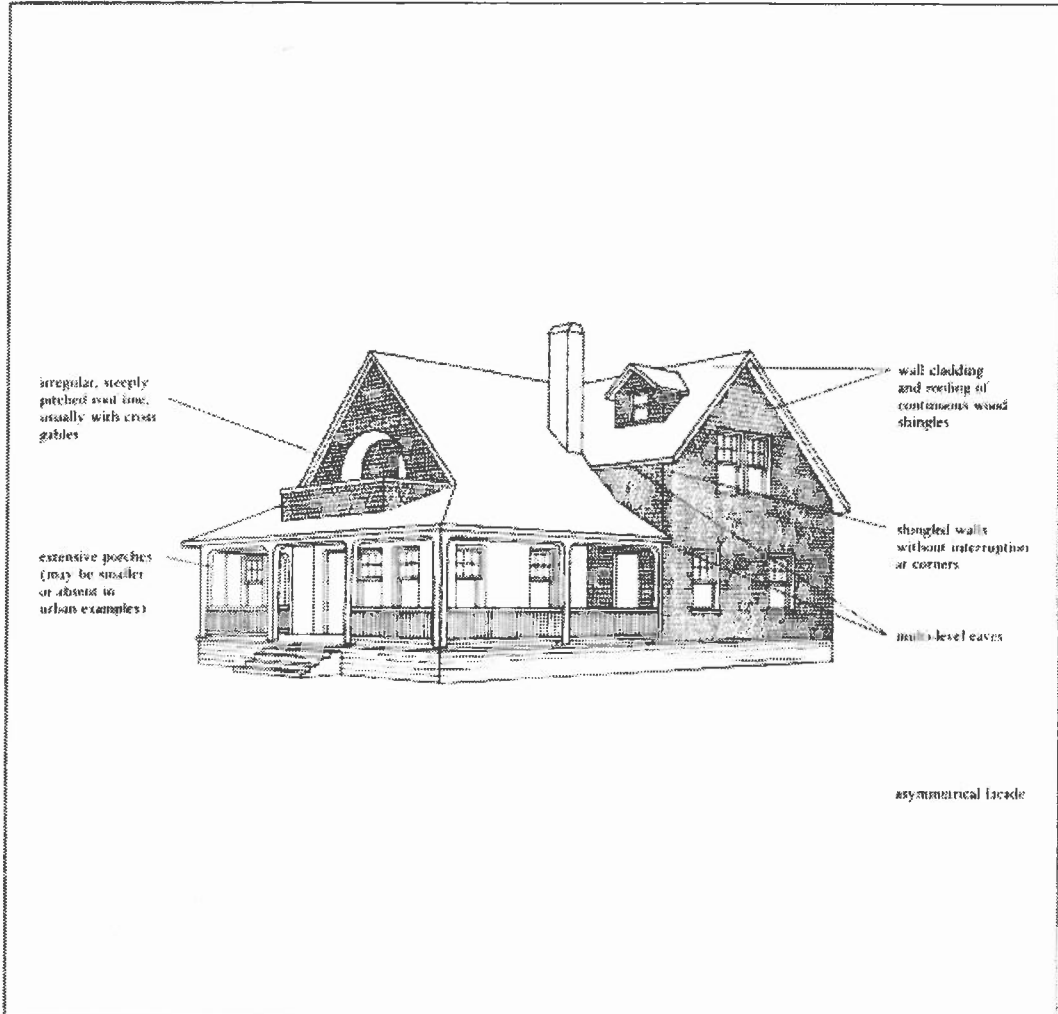
Georgian



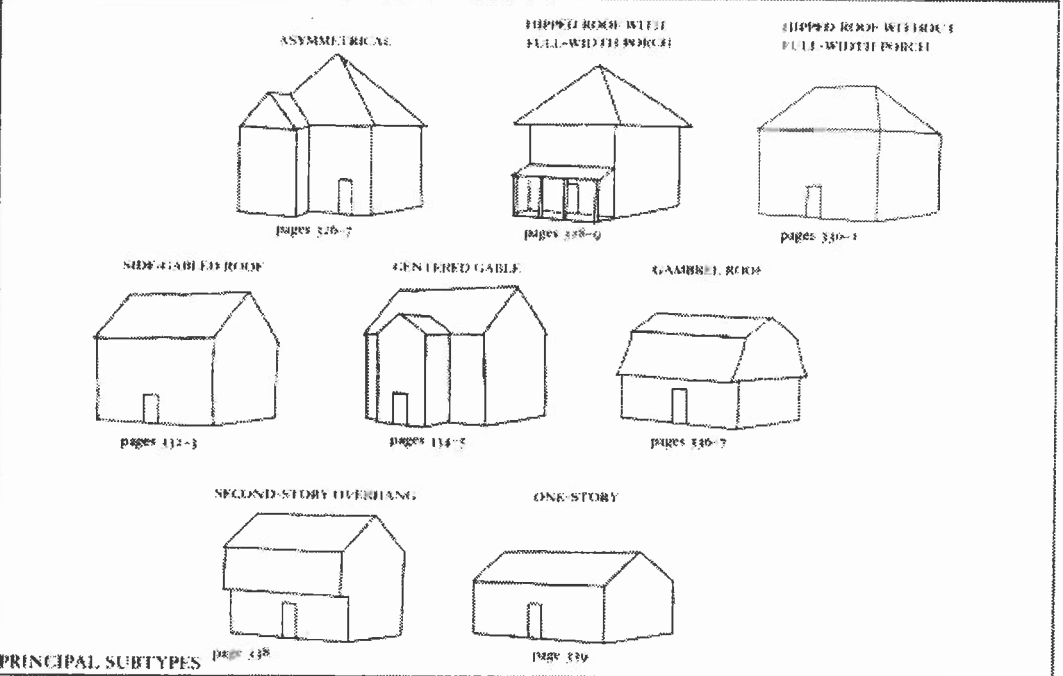
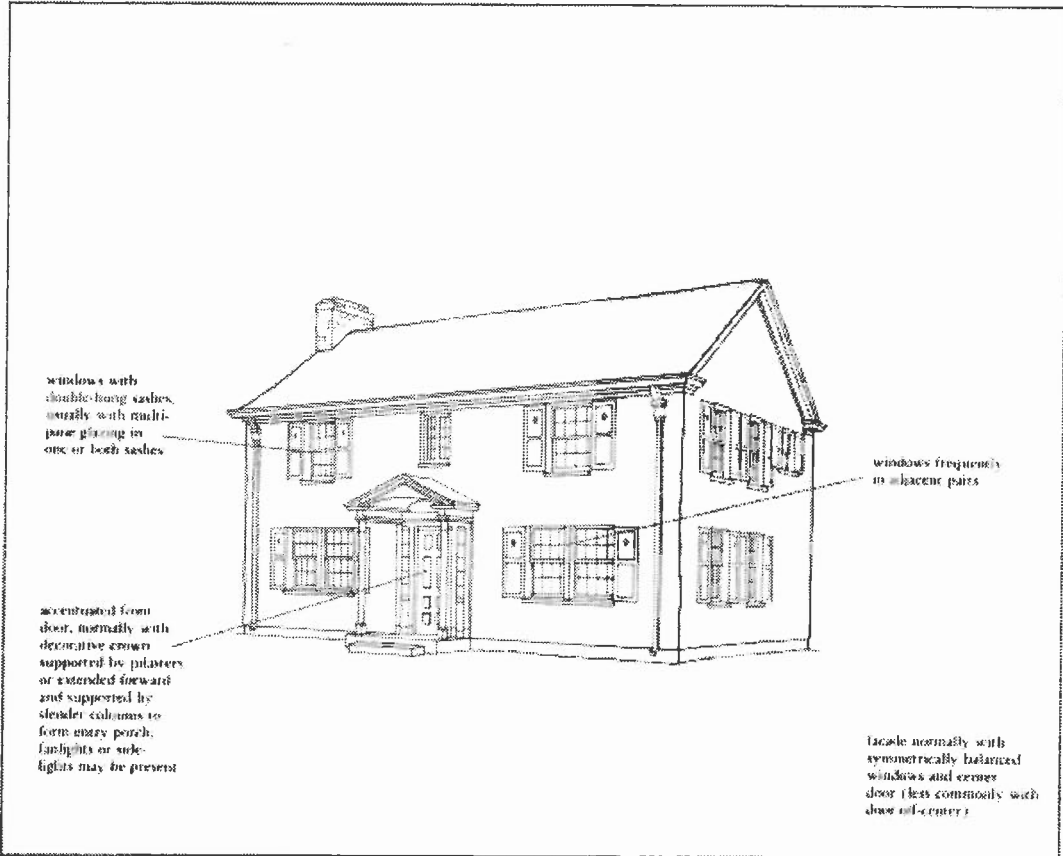
Greek Revival



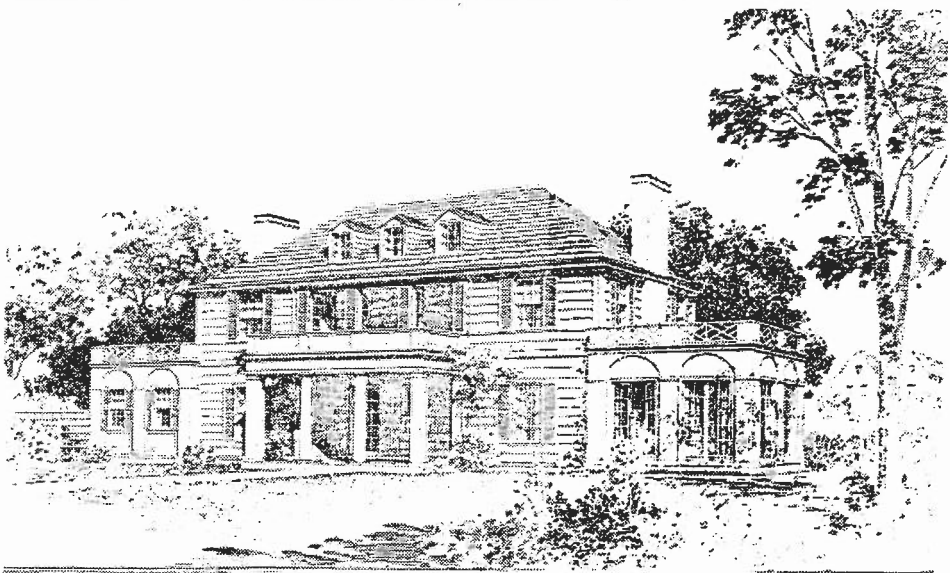
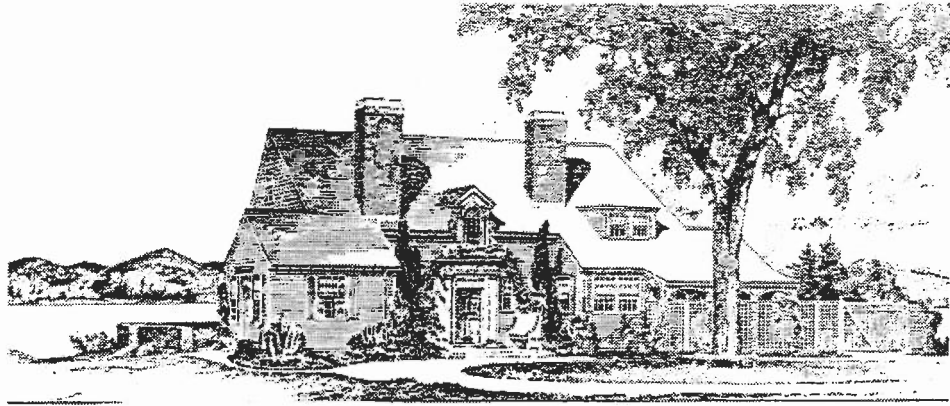
Shingle Style



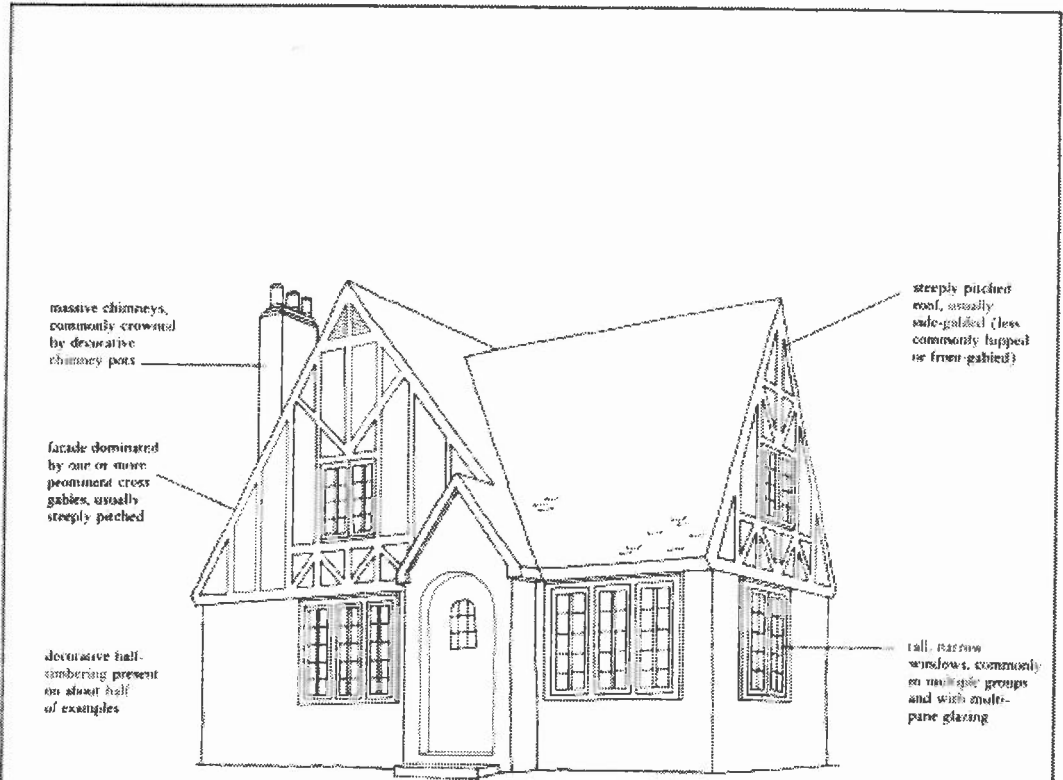
Colonial Revival



Colonial Revival



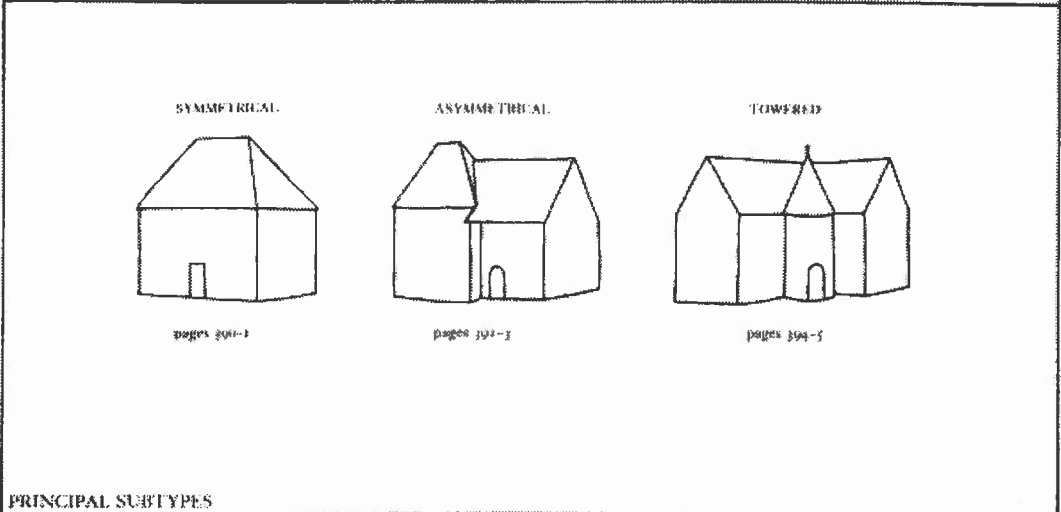
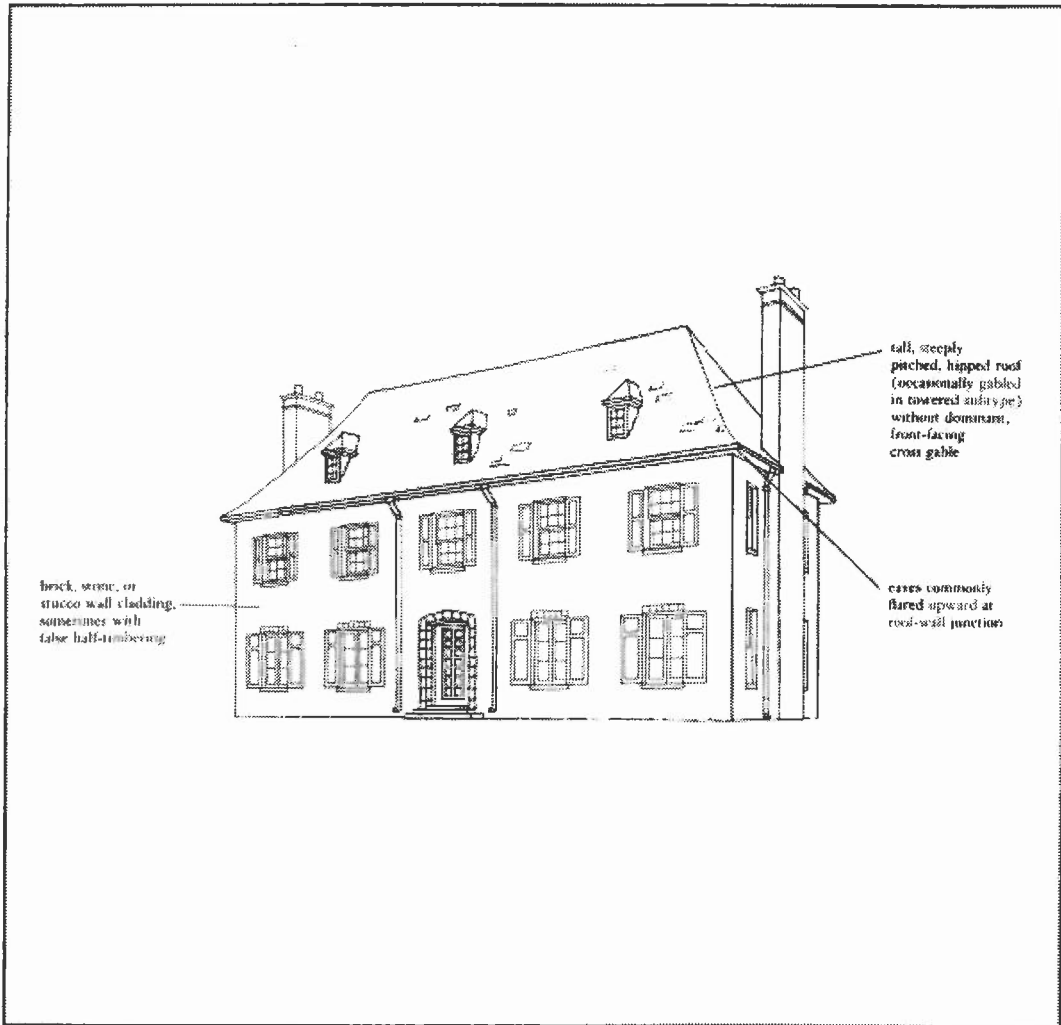
Tudor



Tudor



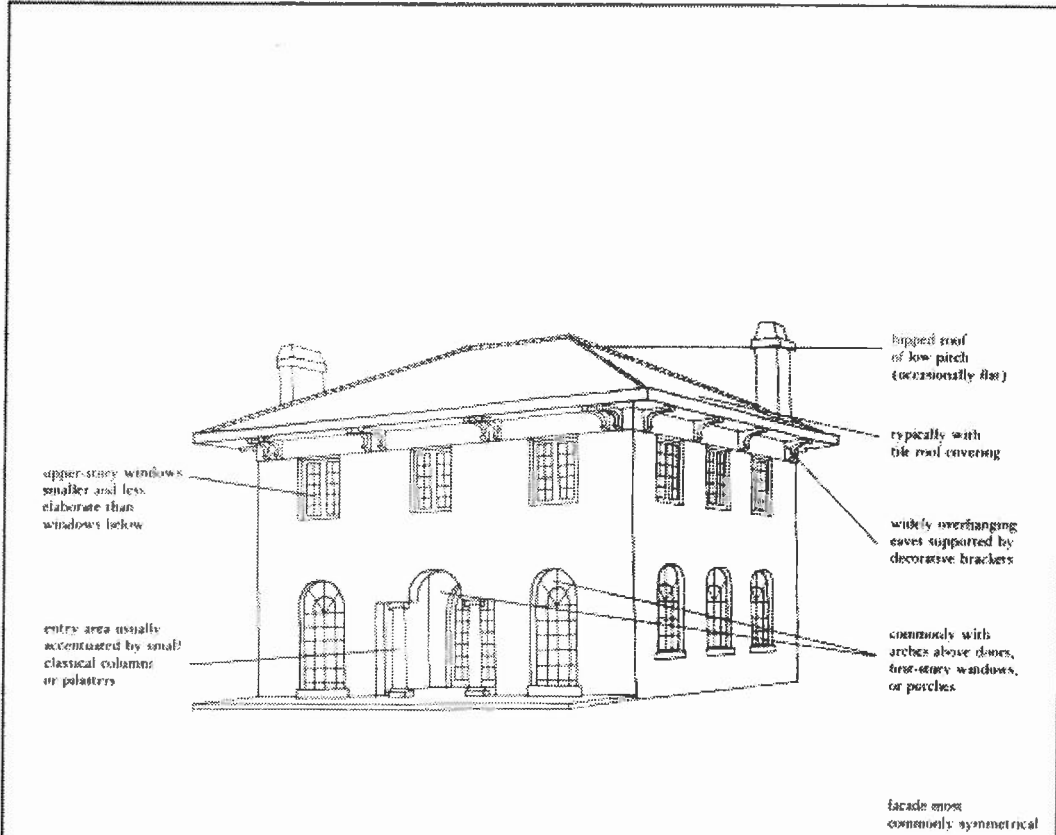
French Eclectic



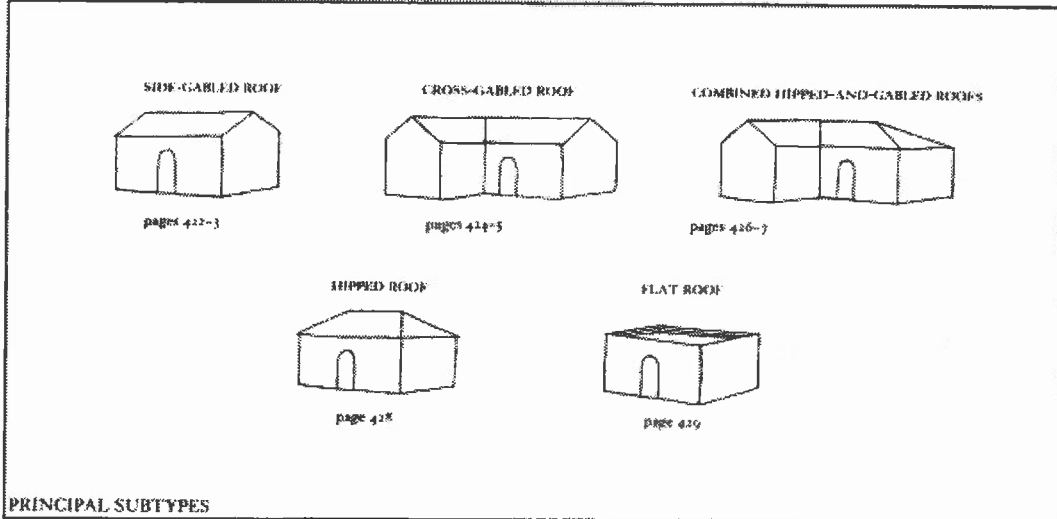
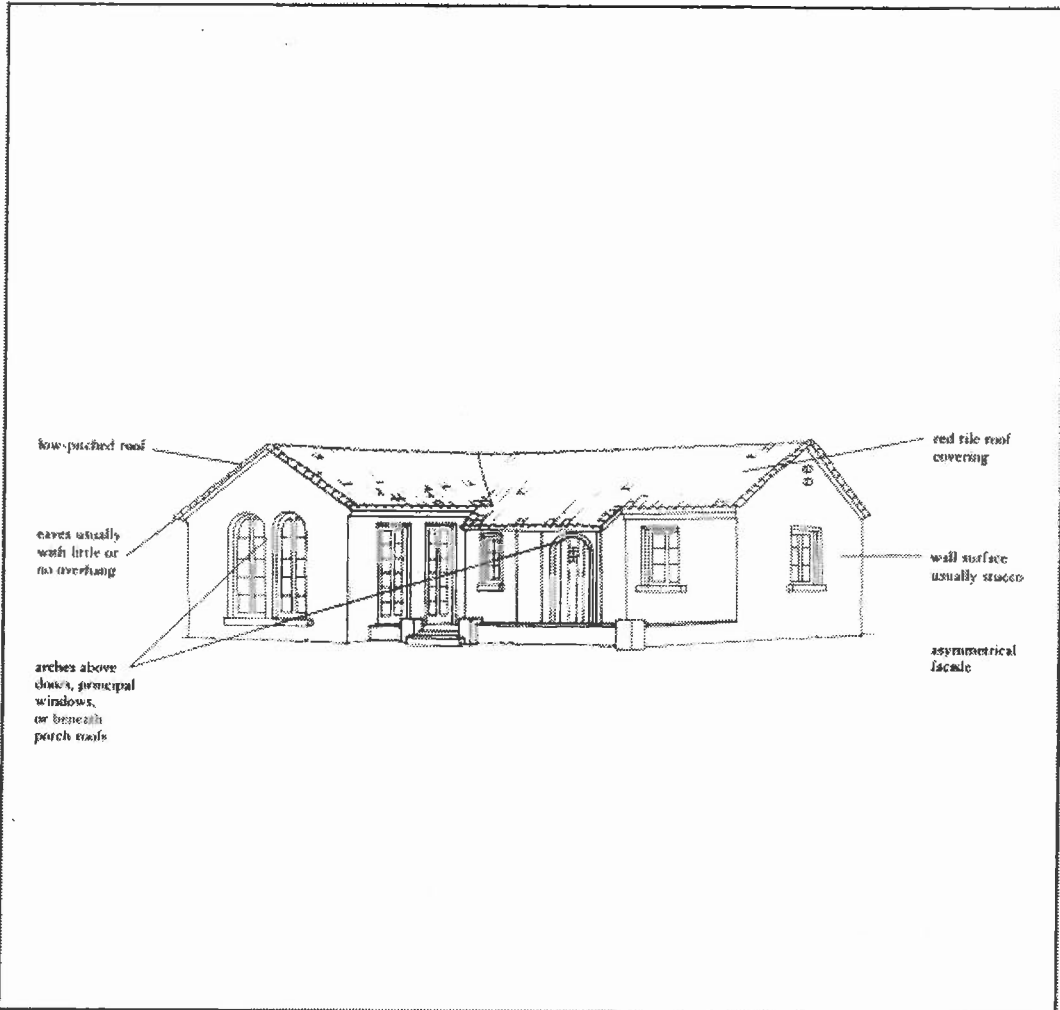
French Eclectic



Italian Renaissance

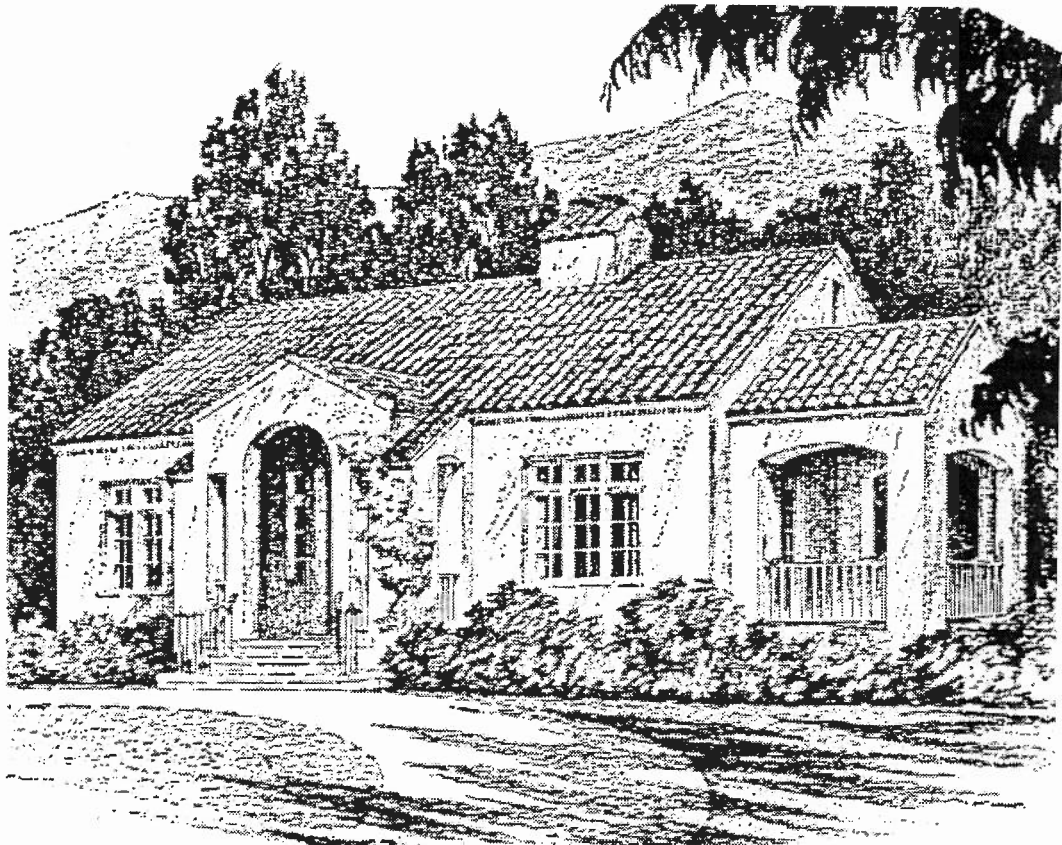


Spanish Eclectic

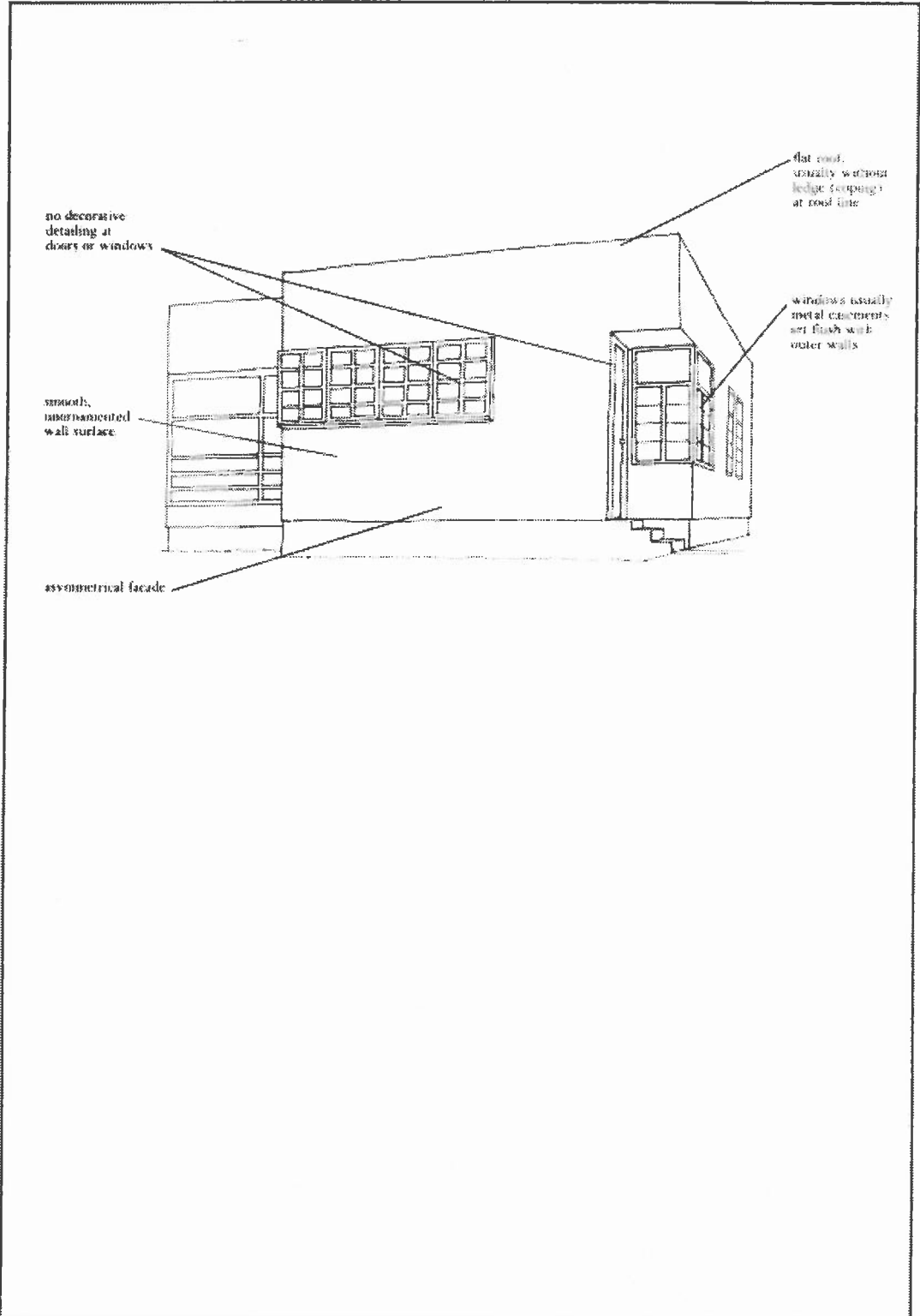


PRINCIPAL SUBTYPES

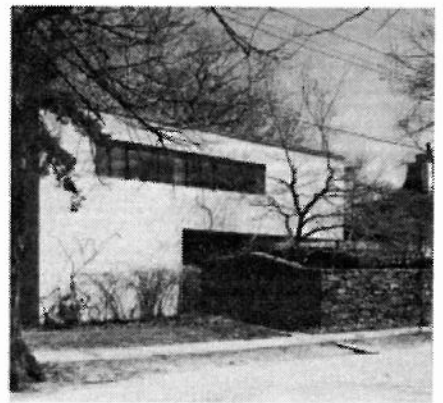
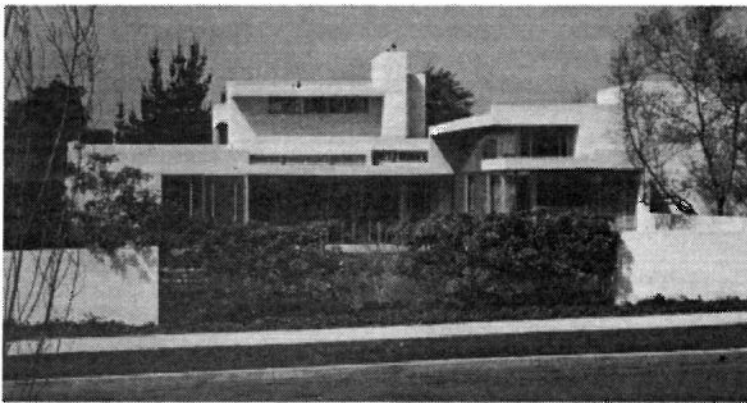
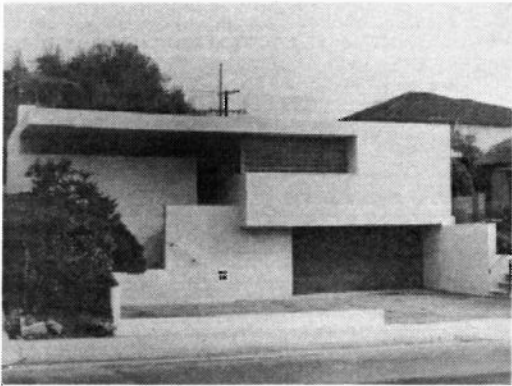
Spanish Eclectic



International Modern



International Modern



Site Planning

This section is intended to give guidance and parameters for layout of structure(s) on their respective lots and accessory elements. Standard lot building setbacks are enumerated as per the PUD regulation and maximum footprints of structures. Additionally, certain limitations are placed on the actual application of these setbacks that are intended to encourage development of outdoor spaces that will relieve a sense of crowding between adjacent houses avoiding monotony along the street scene, and will yield more functional and aesthetic yard/terrace space. Designs have been included illustrating some optional lot layouts for each lot type based on setback parameters.

General

Plan placement of buildings on lot to avoid fragmented outdoor spaces. Building footprints should be straight forward and not overly complex.

The suggested lot layouts in this section are intended to yield useable outdoor “rooms”, and avoid a sense of crowding between lots.

Front, side, and rear setbacks are minimums; the planning parameters encourage “average” side yard setbacks greater than the minimums, to avoid monotonous “alleyways” between neighboring houses.

GARAGES

- Garages must be designed with a minimizing scale to create the feeling of a simpler, more utilitarian structure. Individual structures are preferred, however they may be connected to the house as long as they are clearly separated from the main building mass. Garages must match the house in quality of finish materials.
- Garage eave lines and ceiling heights must be lower than that of the main house. Garage doors will have a maximum width of 9 feet. They must be single doors, treated in a way that compliments the main house. V-groove paneling, board and batten, raised or flat panels are options and may be painted to match the trim color or stained.
- Garages and garage doors may not have fan lights, Palladian or half round windows, or any other windows inconsistent with the traditional style of the house.
- Garages that open toward public street (see site planning of Type A and Type B lots), shall meet the criteria illustrated herewith.

DRIVEWAYS AND AUTO COURTS (FRONT)

- Use paving materials that are compatible with proposed building materials.
- Minimize visibility of paved areas from neighboring lots.
- Minimize the quantity of paved areas in front yards.
- Minimize the visibility of garage doors, driveways, and off-street parking from the street, common areas, and adjoining home sites.
- Approved materials for driveways include: Dry-laid pavers of cut stone (including bluestone, granite, and limestone), brick pavers, concrete pavers, and cast stone. All materials should utilize natural colors. All concrete pavers and paving stones should be simple shapes only.
- Crushed stone and aggregates may be used, primarily for pedestrian paths.
- Colors of finish paving materials must compliment proposed buildings and guideline imaging.
- Driveways may not exceed 12-feet in width.

General (continued)

WALLS, FENCES, AND GATES

- Landscaping is encouraged for privacy in lieu of fences or walls and shall be custom designed.
- Design as natural extensions to the buildings.
- Promote privacy.
- Freestanding walls are generally discouraged. When permitted, freestanding walls shall not exceed six feet in height.
- Approved wall materials include plaster finishes, stucco finishes, brick and wood.
- If plaster or stucco is used, they must be an extension of the architecture, earth tone in color and screened with appropriate planting.
- Generally, fencing is not permitted except as an accent to the architecture. Vinyl clad cyclone and open grid metal fencing are not permitted within the lots.
- Fencing is permitted where required by local ordinances (e.g. around pools) and as screening or privacy elements.

WALKS, COURTYARDS, AND TERRACES

- Ameliorate climatic conditions through the use of plantings, walls, architectural design elements, and landscape structures.
- Utilize materials that compliment the architecture and materials of the building.
- Create outdoor “rooms” which are natural extensions of the indoor rooms of the Residence.
- The organizational design of the Residence and the outdoor spaces should be designed as one.
- Extended flooring materials from the inside of the Residence to the outdoor spaces is encouraged.
- Designs should minimize the use of several different types of paving materials in order to produce a unified design overall.

POOLS AND WATER FEATURES

- Pools and water features shall not be visible from public view or from adjacent lots.
- Design pools and water features to augment outdoor spaces and extend the architectural style of the homes.
- Pools and water features should be designed as integral parts of the outdoor rooms and visually blend with the landscape.
- Swimming pools and spas, and the doors and gates leading thereto, must be constructed in accordance with local regulations, including fence and enclosure heights.
- Mechanical equipment for pools, spas, and water features must not be visible from adjacent lots or the common area. Mechanical equipment should be enclosed by walls or other suitably effective screening methods.
- Exposed edges of infinity or “negative” edge pools must utilize an approved material or shall match the color of the house. Exposed pool walls or surfaces that are visible from offsite must be screened with shrub, vine, or groundcover plantings.

General (continued)

LIGHTING

- Minimize exterior lighting to preserve nighttime dark sky.
- Utilize low density, indirect light sources to the extent required for safety and subtle drama.
- Compliment the architecture and enhance the landscape through the use of glow lights as opposed to beam lights.
- Exterior building lighting, either attached to or as part of the building, should be the minimum needed to provide for general illumination, safety, and security of entries, patios, outdoor spaces, and associated landscape structures.
- Exterior site lighting must be directed onto vegetation or prominent site features and not upon the building.
- Lighting of plant materials shall be achieved with hidden light sources as well as down lights from above.
- Up-lighting is to be used with discretion.
- Only low voltage lighting may be used for all exterior site lighting applications. Line voltage may be used for lights on the building but must be lamped with incandescent bulbs.
- Underwater pool, spa, and water feature lights are required to have rheostats for dimming if spillover light from these sources creates a nuisance to neighboring lots or the common areas.

SERVICE AREAS AND TRASH CONTAINERS

- Screen service areas from off-site views.
- Ensure any noise or smells from trash or equipment are contained.
- Trash and refuse areas must be integral parts of the overall design.
- Trash container storage areas must be easily accessible to service personnel.
- Trash containers must have sealable lids.
- Trash enclosures must be "scavenger proof" and restrict offensive odors from creating a nuisance to adjoining lots or common areas.
- Exterior storage of patio furniture and outdoor living accessories are permitted in areas visible from off-site under the following conditions: (a) If stored uncovered, the furniture is stored in the same location as if it were in use, and (b) If stored with covers, the covers are made from non-reflective material and of dark, earth-tone colors.
- All cooling and heating equipment must be fully screened from surrounding streets, open spaces, adjoining lots, and common areas and may not be located in front yard.
- Cooling and heating units should be located in areas to minimize noise during operation or maintenance. They should be enclosed completely within screen walls or other suitably effective screening methods, at a minimum height of one foot greater than the tallest part of the unit. Roof-mounted cooling and heating units are not permitted.

General (continued)

REAR DRIVEWAYS

• **Parking**

Each homeowner will provide rear parking as per the following regulations for each lot type. Each homeowner will be responsible for construction of concrete apron from edge of rear drive to their respective parking pad/garage within the rear property line. Such apron will be subject to approval as to material, workmanship, and conformity to drainage pattern of rear driveway.

• **Lighting**

Each homeowner will be responsible for installation of a low illumination dusk to dawn light fixture, conforming to approved fixture types. Such fixture may be installed on approved freestanding pole or mounted on garage structure within property line, and converted to metered house or gas service.

• **Mail Delivery**

Each homeowner will be responsible for purchase and installation of mail receptacle meeting requirement of USPS.

• **Trash Receptacles**

Each homeowner will provide appropriate enclosure for screening of garbage container located along rear drive.

Mail delivery and garbage/trash pickup will occur at rear driveways. No service will occur at front drives except for those lots sharing a side driveway. They are Lots # 4, 5, 18, 40 and 41. Newspaper delivery boxes not allowed at front yard.

UTILITIES

- Utilities are generally located relative to each lot as follows:

- **Front Drives**

- Domestic water
 - Fire hydrants
 - Irrigation system line
 - Sanitary sewer
 - Gas
 - Storm sewer

- **Rear Drive**

- Underground electrical
 - Telephone
 - Cable TV
 - Storm sewer

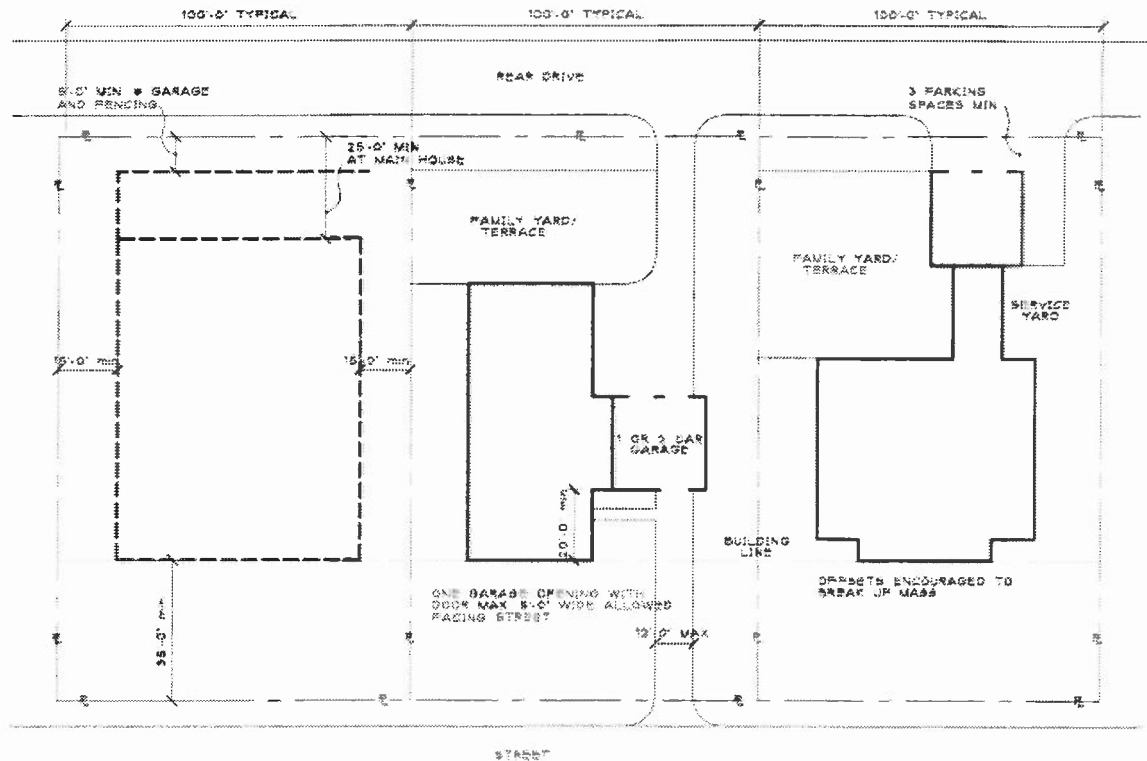
General (continued)

MISCELLANEOUS

- The following are not allowed:
- Freestanding flagpoles, bird feeders over 7" tall (not allowed in front yards)
- House numbers should be appropriately sized and located on the house.
- No decorative freestanding light fixture between curb and building line.

Regulations

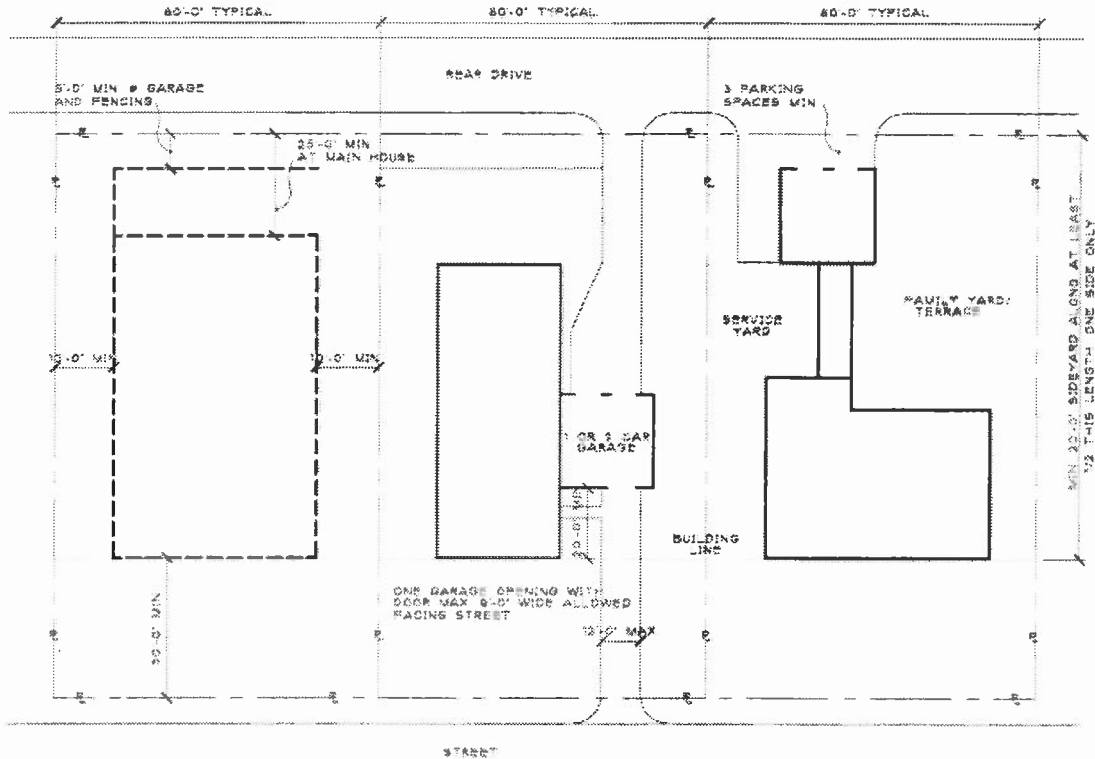
Type A - 100' lot



- Minimum Building Setbacks: (Excluding Garage)
 - Front Yard – 35'
 - Side Yard – 15'/15'
 - Rear Yard – 25' - house
5' - garage
- Maximum Footprint Excluding Garage – 4300 s.f.
- Maximum House Area Excluding Garage – 5200 s.f.
- Minimum House Area Excluding Garage – 3000 s.f.
- Front motor courts/ or driveways are allowed if approved by architectural review and properly screened with appropriate landscaping, walls or fencing.
- Only one curb cut per lot is allowed at front street. Lots with contiguous side driveways are not allowed curb cuts at front street. (Lots #108, 109, 121 and 122).
- Provide minimum three (3) parking spaces accessible from rear drive.

Regulations

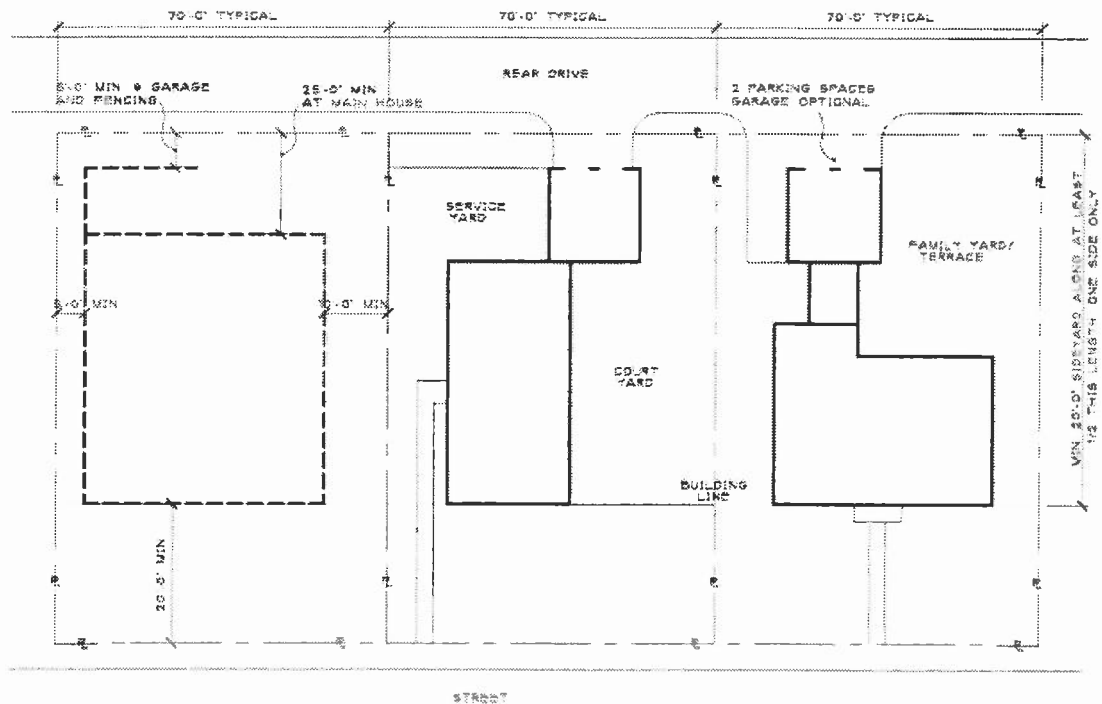
Type B - 80' lot



- Maximum Building Setbacks: (Excluding Garage)
 - Front Yard – 30'
 - Side Yard – 10'/10'
 - Rear Yard – 25' - house
5' - garage
- Maximum Footprint Excluding Garage – 3200 s.f.
- Maximum House Area Excluding Garage – 4200 s.f.
- Minimum House Area Excluding Garage – 2500 s.f.
- Motor courts and driveways are allowed if approved by architectural review and properly screened and appropriate landscaping, walls or fencing. Only one curb cut per lot is allowed at front street. Lots with contiguous side driveways are not allowed curb cuts at front street. (Lots # 15, 16, 21, 22, 26, 27, 28, 29, 33, 34, 38, 39, 40, 41).
- Pairs of Lots #8, 9, 10 and 11 must share curb cuts due to common green space in front. (Only two (2) curb cuts total).
- Provide minimum of three (3) parking spaces accessible from rear drive.

Regulations

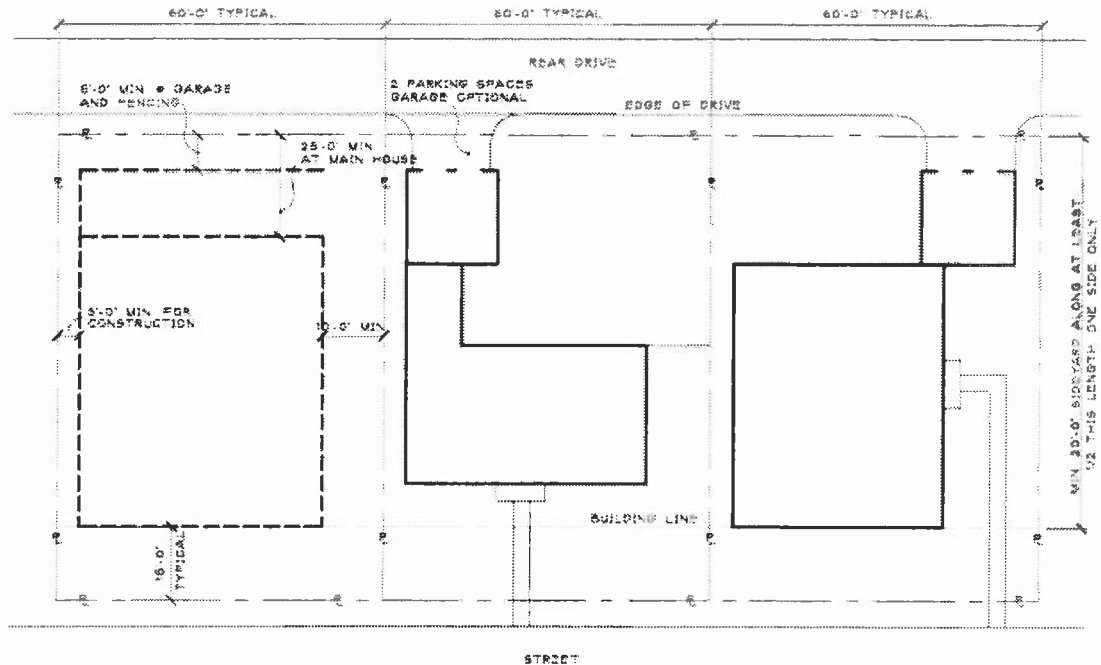
Type C - 70' lot



- Minimum Building Setbacks:
 Front Yard – 20'
 Side Yard – 5'/10'
 Rear Yard – 25' - house
 5' - garage
- Maximum Footprint
 Excluding Garage – 2500 s.f.
- Maximum House Area
 Excluding Garage – 3500 s.f.
- Minimum House Area
 Excluding Garage – 2000 s.f.
- At least one-half the length of one side yard between front building line and rear property line shall be 20' minimum.
- No curb cuts allowed
- No front yard parking aprons.
- Provide minimum two (2) parking spaces accessible from rear drive.

Regulations

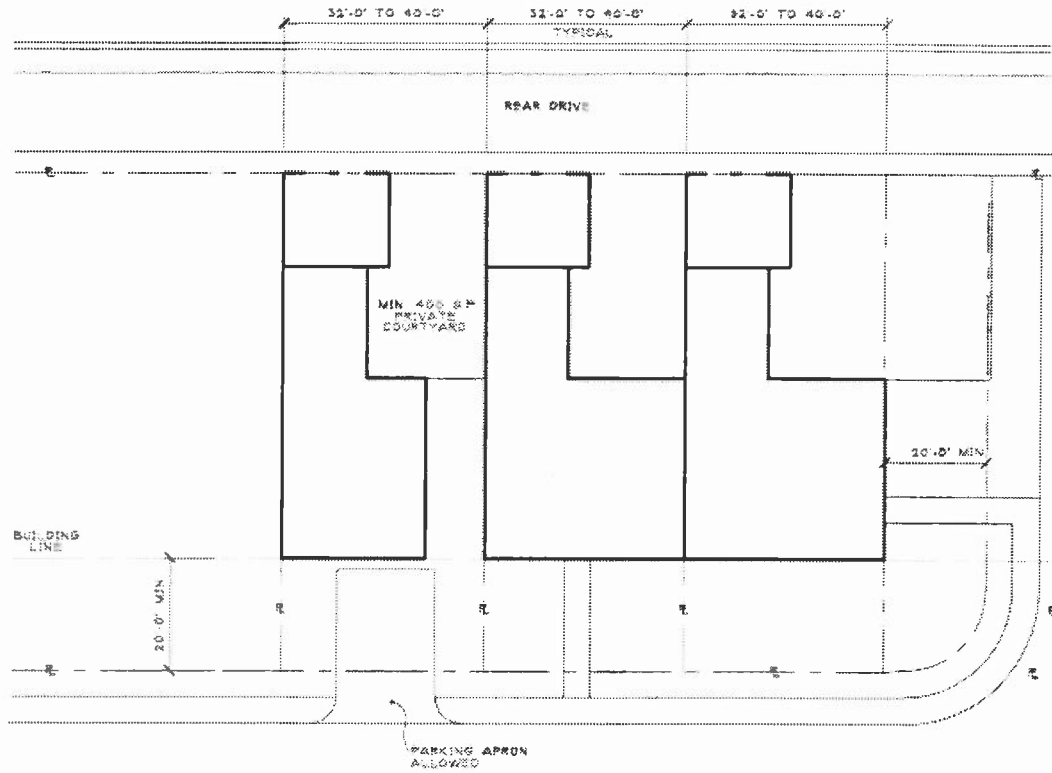
Type D - 60' lot



- Minimum Building Setbacks:
 - Front Yard – 15'
 - Side Yard – 3'/10'
 - Rear Yard – 25' - house
5' - garage
- Maximum Footprint Excluding Garage – 2300 s.f.
- Maximum House Area Excluding Garage – 3200 s.f.
- Minimum House Area Excluding Garage – 2000 s.f.
- At least one-half the length of the 10' side yard shall be 20' minimum.
- No curb cuts allowed.
- No front yard parking aprons or motor courts allowed.
- Provide minimum of two (2) spaces accessible from rear drive.

Regulations

Type T - Townhouse Lots



- Shall Conform to R-24T Townhouse Ordinance.

Elements of Acceptable Design

Throughout the history of residential design various styles of architecture have evolved, each with its own characteristic use of proportion, massing, details, materials and finishes. These characteristics are inherent to each particular style or adaptation of a style.

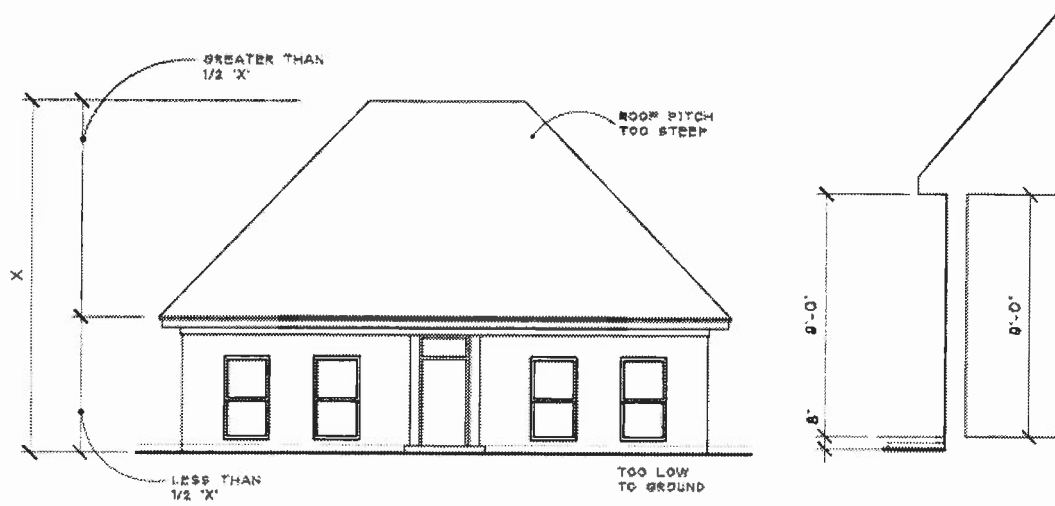
A lack of understanding of the appropriate use of these elements can lead to a poorly designed house. There are many examples of these in new subdivisions.

The main purpose of this section is to place emphasis on the importance of properly applying the fundamentals intrinsic to a particular style.

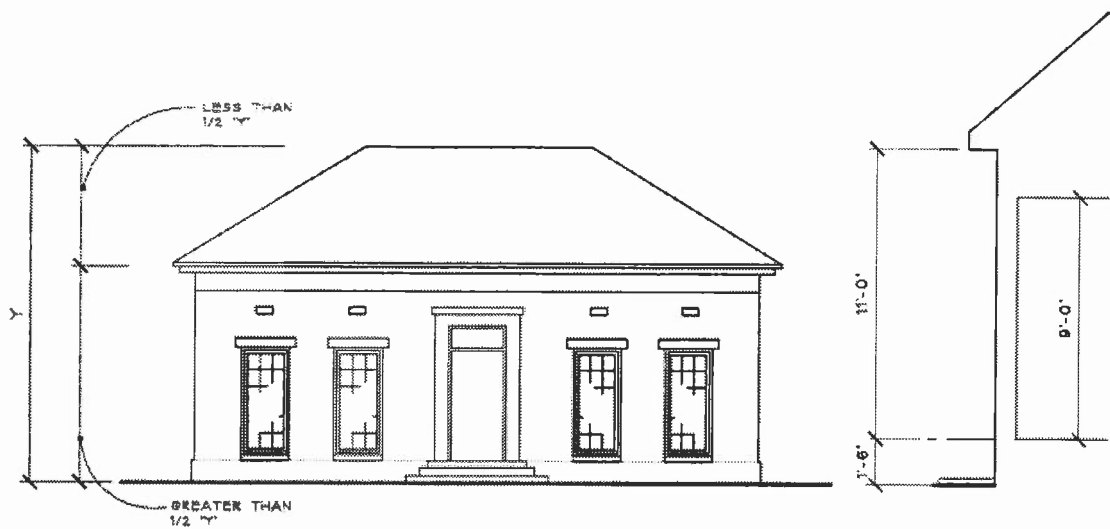
The responsibility to understand and apply these fundamentals rests with the owner's architect/designer, in order to minimize review comments by the Architectural Control Committee.

This section is intended to provide general guidance in proportion and massing of structures, and proper application of design elements. Included are examples of inappropriate designs and common mistakes that occur in residential design.

Building Mass / Proportion
Typical Traditional Style

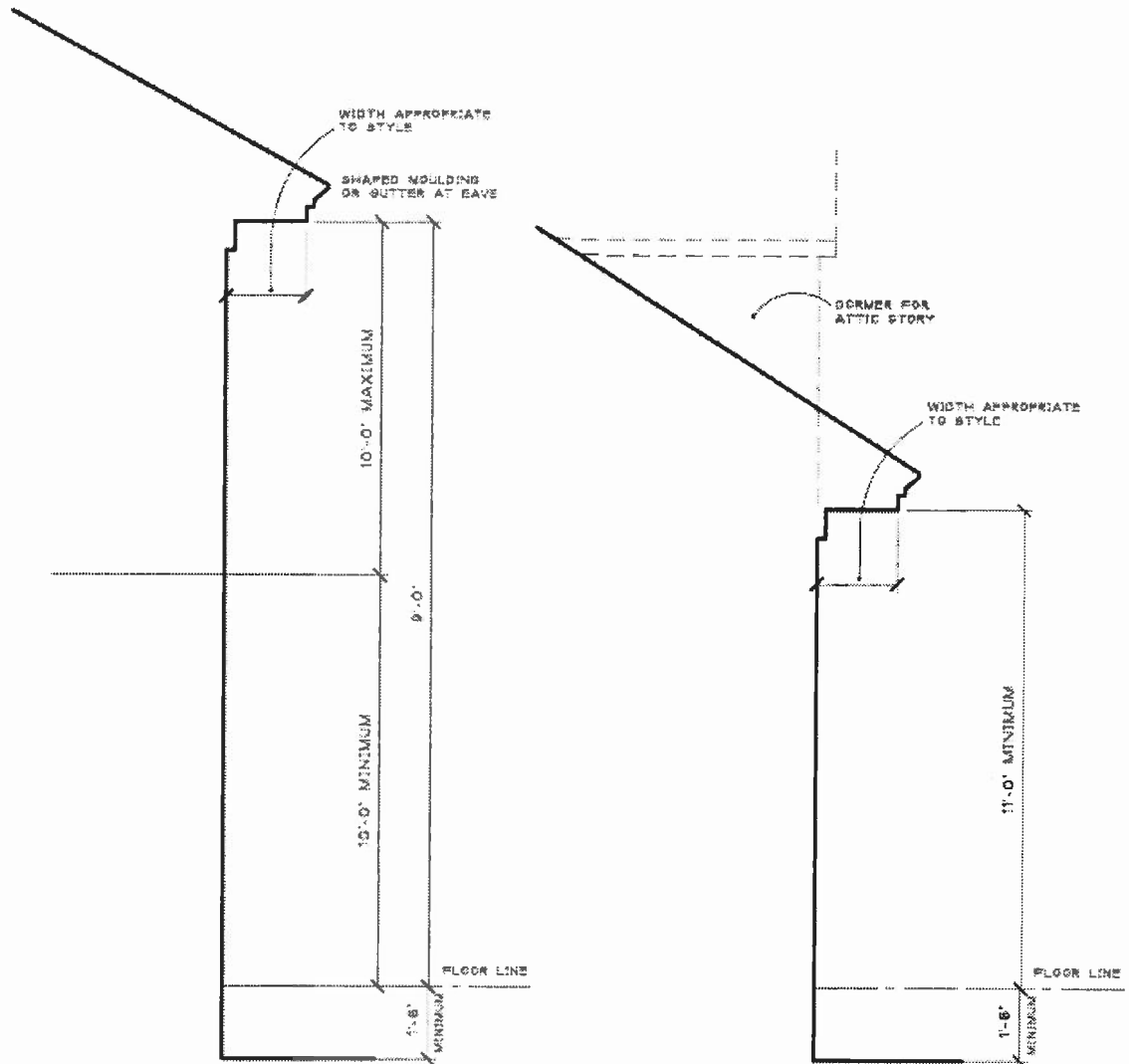


Poor Massing



Appropriate Massing

Building Mass / Proportion



2 - Story

1 - Story or 1 1/2 - Story

*Roof pitch must be in proportion to wall height and overall massing

Example of Unacceptable Massing



1. Combination of gable and hip roofs and pseudo porch create awkward massing.



2. Disproportional roof height to wall height (too much roof). Porches, columns, windows and doors are out of scale.



3. Too many gables and roof elements. Poor placement of windows, and proportion of window/door elements. Arbitrary use of shutters.

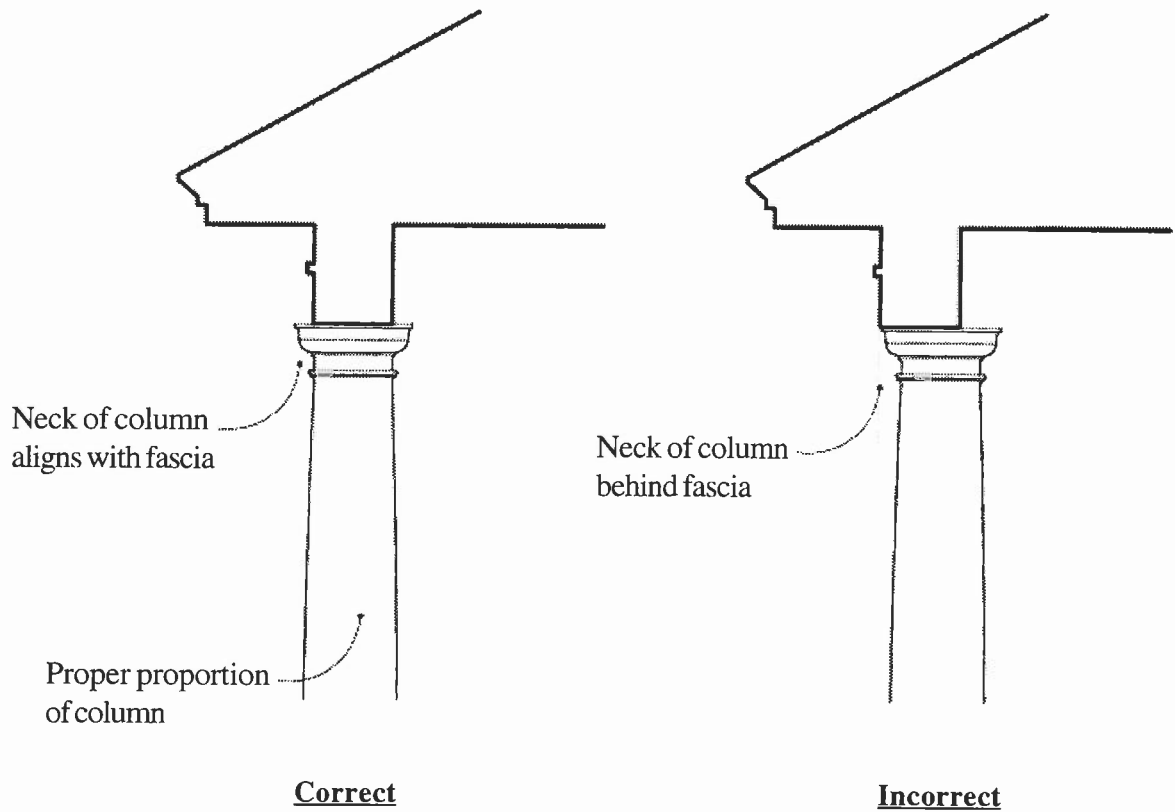


4. Roof elements awkwardly placed; poorly designed dormer; soffits broken arbitrarily creating clumsy mass.

Important Design Elements

(where common mistakes occur)

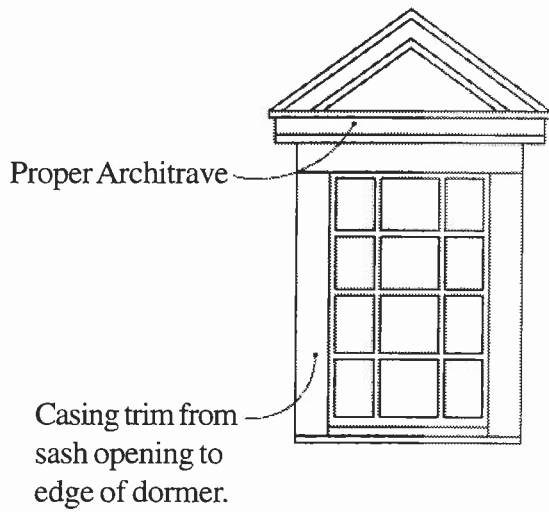
A. Column / Architrave



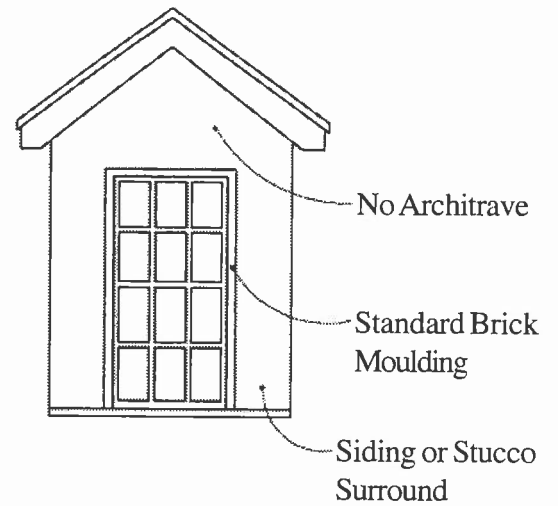
Important Design Elements

(where common mistakes occur)

D. Roof Dormers

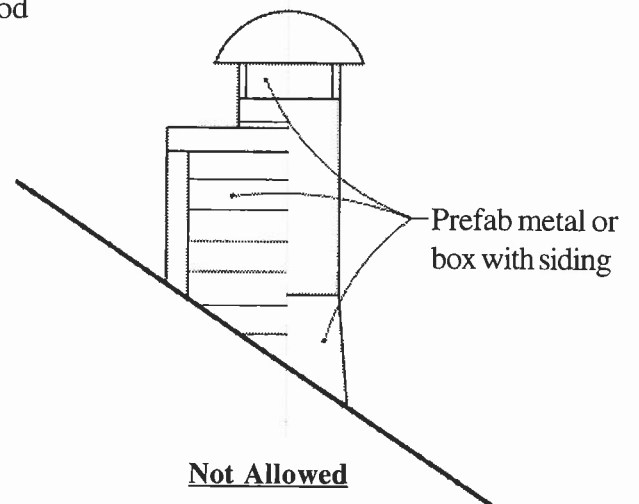
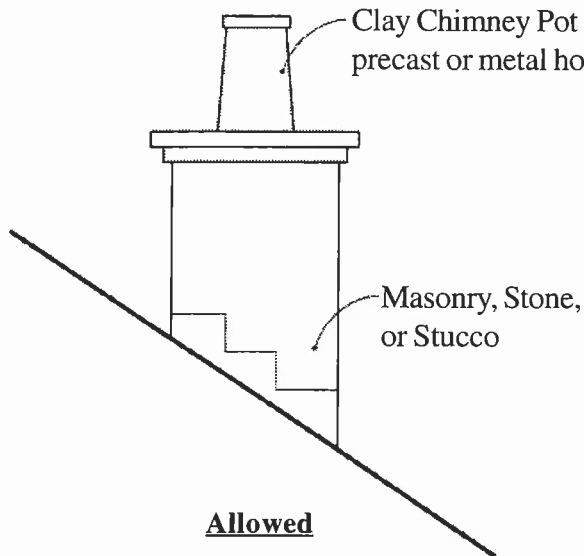


Correct



Incorrect

E. Chimneys



Exterior Materials / Colors

This Section includes allowable materials for the exterior of structures, walls, fences, pavement, and walks visible from public areas.

EXTERIOR MATERIALS / COLORS

	<u>Allowed</u>	<u>Not Allowed</u>
Sidewalls (Front)	Brick to match common sidewalls or approved color.	Concrete, loose stone
Drives, Motorcourts (Front)	Brick, cobblestone, architectural concrete, concrete pavers, turf pavers on other approved materials.	Concrete, loose stone, asphalt
Walls, Fences	Brick, wood pickets, decorative iron, square lattice pattern	Chain link, vinyl, CMU standard lattice.
Building Walls, Trim	Brick, stucco, horizontal lap wood siding, cut or stacked stone.	EIFS, Plywood, CMU, vertical board and batten except by special approval, vinyl or aluminum siding, uncut stone.
Roofs	Slate or synthetic slate, wood shingles, clay or concrete tiles, architectural grade standing seam metal, architectural grade fiberglass shingles.	Rolled roofing, galvanized metal, reflective finishes, bright colors.
Windows	Partial wood, vinyl clad, double hung, casement.	Aluminum, spec. house grade.
Chimneys	Brick, stucco, stone	Metal prefabricated. Also see above (Building Walls, Trim) <u>Not Allowed</u> list.
Roof Elements	Plumbing vents shall be collected and placed on rear roof slope. All roof penetrations shall be finished to blend with roof color, except chimneys.	Satellite dishes or antennas, solar panels.
Security Lighting	Eave spotlights, if they are directed to the ground and not to neighbors or public streets.	

Exterior color schemes shall be subject to approval by the Architectural Control Committee. Except for accent elements, bright or dissonant colors will not be allowed.

Landscaping / Irrigation

This section is intended to give guidance to homeowners in designing and installing landscaping on their lot that will be harmonious with the landscaping in the extensive common areas throughout Lockwood. The listing of plant material includes species that are indigenous to the Montgomery area, and that can be effectively maintained.

Landscaping / Irrigation

1. GENERAL SITE AND LANDSCAPE OBJECTIVES

- Utilize the existing site elements, views, and land forms as the foundation for designing all landscape improvements.
- Preserve, protect, and enhance the existing landscape throughout the development.
- Minimize tree removal and grading.
- Revegetate and rehabilitate areas impacted by development activities.
- Select plants, landscape structures, and details that are appropriate for the region's heritage and respond to the climate and the setting.
- Utilize plants that are sensitive to the existing plant community's zone
- Emphasis should be placed upon architectural elevations through balance and design consistency
- It is recommended that only professional design firms be employed for this development

2. GRADING AND DRAINAGE

- Any grading shall create smooth transitions at top and bottom of slopes and appear as natural extensions of surrounding, undisturbed land. Final grades must blend with the natural topography. Rounded, flowing forms are desirable.
- Abrupt transitions from graded areas to surrounding land and vegetation shall be avoided.
- Slopes shall not exceed 3:1. If 3:1 slopes are used, landscape treatments that soften and blend the slope should be applied.
- No changes to the natural or existing drainage patterns shall be made that cause an adverse effect upon any adjacent land.

3. PLANTING

- Preserve, protect, and maintain existing vegetation to the greatest extent possible.
- Use plant materials suitable for the climate and soil type.
- Utilize plant materials to define outdoor rooms, frame views, and provide focal points.
- Plant materials should be used to complement structures and provide shade, texture, or a focal point for outdoor rooms.
- Shrubs should be used as informal, low walls.
- Trees should be used to provide scale for building walls, for shade, and for character.
- Proposed landscape plantings that are not on the approved plant palette shall be identified on all landscape submissions with a full description of the plant and its intended use. Every plant must be compatible with the site specific environment.
- All trees, shrubs, and ground covers must be maintained properly. All dead or dying plants must be replaced within 30 days of notification. Maintenance for seasonal planting will be required in the off-season to remove all dead or frost-damaged growth, leaf litter, or other debris.

Landscaping / Irrigation (continued)

4. IRRIGATION

- All sodded or grassed lawns are to be 100% irrigated.
- Minimize the amount of landscape irrigation required.
- Minimize water usage and runoff.
- Optimize plant growth and establishment through the use of “drip irrigation.”
- Drought-tolerant plantings with minimal irrigation must be the basis of all landscape submittals.
- Group plant materials according to their water consumption needs.
- The use of automatic, underground irrigation systems is required in non-turf areas. Irrigation application shall be separated based on moisture requirements for various plant groups.
- All irrigation systems will utilize an automatic, programmable controller to maximize efficiency. Double detector check valves are required to prevent backflow into the domestic water system.
- Irrigation systems must include a rainfall monitoring system to minimize water consumption and over-watering.

Landscaping / Irrigation (continued)**APPENDIX: Recommended Plant Palettes**

The following plants are recommended because of their suitability to the environmental conditions.

Trees	
Japanese Black Pine	<i>Pinus thunbergiana</i>
Eastern Red Cedar	<i>Juniperus virginiana</i>
Southern Magnolia	<i>Magnolia grandiflora</i>
Live Oak	<i>Quercus virginiana</i>
Yaupon	<i>Ilex vomitoria</i>
Savannah Holly	<i>Ilex x attenuata</i> 'Savannah'
East Palatka Holly	<i>Ilex x attenuata</i> 'East Palatka'
Slash Pine	<i>Pinus elliotii</i>
Crape Myrtle	<i>Lagerstroemia indica</i> and hybrids
Leyland Cypress	x <i>Cupressocyparis leylandii</i>
Longleaf Pine	<i>Pinus palustris</i>
Chaste Tree	<i>Vitex agnus-castus</i>

Shrubs	
Butcher's Broom	<i>Ruscus aculeatus</i>
Wax Myrtle (and Dwarf)	<i>Myrica cerifera</i> ('Nana')
Scotch Broom	<i>Cytisus scoparius</i>
Pittosporum	<i>Pittosporum tobira</i>
Spanish Bayonet	<i>Yucca gloriosa</i>
Yedda Hawthorn	<i>Raphiolepis umbellata</i>
Laurustinus	<i>Viburnum tinus</i>
Sandankwa Viburnum	<i>Viburnum suspensum</i>
Oleander	<i>Nerium oleander</i>
Indian Hawthorn	<i>Raphiolepis indica</i>
Needlepoint Dwarf Buford Holly	<i>Lux cornuta burfodi</i> 'nana'
Recurved - Leaf Ligustrum	<i>Ligustrum recurvifolium</i>

Vines	
Carolina Yellow Jessamine	<i>Gelsemium sempervirens</i>
Confederate Jasmine	<i>Trachelospermum jasminoides</i>
Lady Banks Rose	<i>Rosa banksiae</i>
Algerian Ivy	<i>Hedera canariensis</i>
Asian Jasmine	<i>Trachelospermum asiaticum</i>
5 Leafed Akebia	<i>Akebia quinata</i>

Landscaping / Irrigation (continued)

Groundcover	
Wintercreeper	<i>Euonymus fortunei</i>
Lavender Cotton	<i>Santolina chamaecyparissus</i>
Creeping Fig	<i>Ficus pumila</i>
Asian Jasmine	<i>Trachelospermum asiaticum</i>
English Ivy	<i>Hedera helix</i>
Trailing Lantana	<i>Lantana montevidensis</i>
Star Jasmine	<i>Jasminum multiflorum</i>
Wedelia	<i>Wedelia trilobata</i>

Ornamental Grasses and Perennials	
Fernlean Yarrow	<i>Achillea filipendulina</i>
Silver-King Artemisia	<i>Artemisia ludoviciana albula</i>
Golden Silver	<i>Chrysanthemum pacificum</i>
Red-Hot-Poker	<i>Kniphofia uvaria</i>
Crinums	<i>Crinum</i> spp.
Hemerocallis species	<i>Daylily</i> spp.
Lantanas	<i>Lantana</i> spp.
Agapanthus	<i>Agapanthus africanus</i>
Blanket Flower	<i>Gaillardia pulchella</i>
Dusty-Miller	<i>Senecio cineraria</i>
Society Garlic	<i>Tulbaghia violacea</i>
Fountain Grass	<i>Pennisetum alopecuroides</i>
Miscanthus	<i>Miscanthus sinensis</i>
Bermuda Grass	<i>Cynodon dactylon</i>
Plumbago	<i>Plumbago auriculata</i>

Annuals	
Ageratum	<i>Ageratum houstonianam</i>
Blanket Flower	<i>Gaillardia pulchella</i>
Moss Rose	<i>Portulaca oleracea</i>
Verbena	<i>Verbena x hybrida</i>
Mexican Heather	<i>Cuphea hyssopifolia</i>
Ivy Geranium	<i>Pelargonium peltatum</i>
Gazania	<i>Gazania rigens</i>
Purslanes	<i>Portulaca cultivars</i>
Wax Begonias	<i>Begonia x semperflorens-cultorum</i>
Drummond Phlox	<i>Phlox drummondii</i>
Fancy Geranium	<i>Pelargonium x domesticum</i>
Dusty-Miller	<i>Senecio cineraria</i>
Pansies	<i>Viola x wittrockiana</i>

**DESIGN
REVIEW
PROCEDURE**

Design Review Checklist

STEP 1. REVIEW DOCUMENTS

- Lot Purchase Agreement
- Design Regulation Book
- The Declaration of Covenants

STEP 2. SKETCH REVIEW

- Submit Form A: Sketch Review Application
- Complete Schematic Drawings
 - Site Plans
 - Floor Plans
 - Elevations

STEP 3. CONSTRUCTION DOCUMENTS REVIEW

- Submit Form A: Sketch Review Application
(Bearing Lockwood LLC Stamp of Approval)
- Submit Form B: Construction Document Review Application
- Submit Form C: Materials and Finishes List
- Complete Construction Documents
 - Site Plan
 - Floor Plans
 - Elevations
 - Details
 - Coverage Calculations
 - Landscape Plan

STEP 4: CONSTRUCTION COMMENCEMENT

- Submit Form D: Construction Commencement Application
- Submit Construction Deposit
- (Jurisdiction) Building Permits
- Field Inspections
 - String Stake Out (Buildings, Garden Walls, Fences, Trees to be Removed)
 - Pillings/Formwork for Footings
 - Wall Cladding/Finish
 - Eaves, Fences, Columns, Bannisters

STEP 5: MINOR CHANGE

- Submit Form E: Minor Change Application
- Submit Applicable Drawings

Design Review Procedure

Submit two copies of all required documents and drawings to Lockwood Operating LLC, attn: Architectural Review Committee, at:

1342 Carmichael Way
Montgomery, Alabama 36106

All documents shall include the name of the project, lot number, owners' names, and the date.

STEP 1.

Review Documents. In order to proceed, you should have reviewed the following documents:

- a. The Lot Purchase Agreement.
- b. Design Regulation Book.
- c. The Declaration of Covenants.
- d. The Design Review Procedure (this document)

STEP 2.

Sketch Review. This review confirms a correct interpretation and the Architectural Control Committee will stamp the drawings upon approval.

- a. Form A: *Sketch Review Application*
- b. *Schematic Design Drawings* as outlined below:

Site Plan (1/16"=1') showing:

- North arrow.
- Property lines and setbacks with dimensions
- Building footprints with entries, porches and balconies delineated and overhangs shown as dashed lines .
- Location of parking on site.
- Drives and walks, with dimensions of each.
- Scrub save areas delineated.
- Any garden information.
- Floor plans (1/8" = 1' or 1/4" = 1')

Elevations (1/8" = 1" or 1/4" = 1')

- Porches, balconies, doors, and windows.
- Principal materials rendered and specified.
- Height of each floor, eave and maximum height in relation to ground level.
- Roof pitch.

Design Review Procedure (continued)

STEP 3.

Construction Documents Review.

Be sure to submit Construction Document Review paperwork before sending projects out to bid.

This review checks the construction documents for compliance and verifies that recommendations made at the sketch review have been incorporated. Conformity to applicable local regulations and building codes is the responsibility of your architect or builder.

- a. Form A: *Sketch Review Application* bearing Lockwood LLC stamp of approval.
- b. Form B: *Construction Document Review Application*
- c. Form C: Materials and Finishes List
- d. Construction Documents as outlined below:

Site Plans showing:

1" = 40': Building footprints and setbacks from adjacent properties on all 4 sides
(see Site Plan sketch)

1/16" = 1': North arrow; Property lines, and setbacks with dimensions; Building footprints with entries, porches and balconies, delineated and overhangs shown as dashed lines; Location of parking on site; Drives and walks, with dimensions of each.

Floor Plans (1/4" = 1') showing:

Rooms dimensioned and uses labeled.
All windows and doors with swings shown.
All overhangs of doors and roofs as dashed lines.
Overall dimensions.
Total square footage (enclosed and porches shown separately).

Elevations (1/4" = 1') showing:

Porches, balconies, doors, and windows.
Principal materials rendered and specified.
Height of each floor, eave and maximum height in relation to ground level.
Roof Pitch.

Details (3/4" = 1' or 1-1/2" = 1') showing:

Watertable (if any)
Eaves.
Door and window surrounds.
Porches.

Coverage and Circulation Table: Note maximum allowable coverage for the lot and tabulate total coverage, including porches and non-previous walkways.

Landscape Plan

Design Review Procedure (continued)

STEP 4.

Construction Commencement.

- a. Form D: Construction Commencement Application
- b. (Jurisdiction) Building Permit(s).

Construction may begin upon receipt of Form D: Construction Commencement Application bearing Lockwood LLC stamp of approval.

Landscape Preservation Procedures

Stake access and work zones and confine surface clearing to within these areas;

Supervise the digging of foundations from within the building footprint, with excavators backing out through the future garage and driveway, and ensure that access and storage for all building operations shall be from the land and through driveway;

Typical field inspections will occur at these times:

- a. At string stake out of buildings, garden walls, fences and trees to be removed.
- b. When pilings or formwork for footings are in place.
- c. At the commencement of wall cladding or finish.
- d. At the commencement of the construction eaves, fences, columns and banisters.

STEP 5.

Minor Change. It is anticipated that owners may wish to make improvements or modifications to their buildings during construction or subsequently. To do so, submit the following:

- a. Form E: Minor Change Application
- b. Applicable drawings as necessary to describe the modifications.

A minor change may be executed upon receipt of Form E: Minor Change Application bearing Lockwood Operating LLC stamp of approval.